

PLANS FOR PROPOSED PRIVATE PARKING LOT, STORM
DRAINAGE & SEWER IMPROVEMENTS
FOR
GREEN SEASONS

TRACT D-2B-2-C
OF THE J.A. LESAGE PROPERTY
LOCATED IN SECTION 43, TOWNSHIP 6 SOUTH, RANGE 2 EAST
CITY OF CENTRAL, LA.
MAY 2018

UTILITIES/CONTACTS

WATER SERVICE

BATON ROUGE WATER COMPANY
P.O. BOX 96016
BATON ROUGE, LA 70896-9016
(225)928-1000
MARGIE SWANSON

SEWER SERVICE

CITY OF BATON ROUGE - SEWER OPERATIONS
251 FLORIDA ST. - SUITE 407
BATON ROUGE, LA 70801
(225) 389-3154

ELECTRICAL SERVICE

ENTERGY
P.O. BOX 2431
BATON ROUGE, LOUISIANA 70895
(225)354.3066
KIRK KEEES

TELEPHONE SERVICE

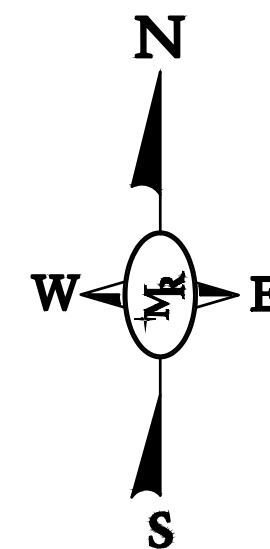
BELLSOUTH TELECOMMUNICATIONS, INC.
5550 S. SHERWOOD FOREST BLVD. - ROOM
121
(255)291-1851
PAUL MATTSON

GAS SERVICE

ENTERGY SOUTHERN FRANCHISE
P.O. BOX 2431
BATON ROUGE, LA 70821
(225)351-3130
MIKE CREEL

CABLE SERVICE

COX CABLE
5428 FLORIDA BLVD.
BATON ROUGE, LA 70806
(225)930-2207
GLEN RABALAIS



AERIAL LOCATION MAP

SCALE 1" =1000'

INDEX TO SHEETS

SHEET NO. DESCRIPTION

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C-8	SITE DETAILS
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APPLICABLE D.O.T.D. STANDARD PLANS*

BM-01 BEDDING AND BACKFILL DETAILS

EC-01 TEMPORARY EROSION CONTROL DETAILS

NOTES

BASE FLOOD ELEV: 48.0'
10 YR DESIGN WATER SURFACE: 31.6'

REFERENCE BENCHMARK:

THE ELEVATIONS SHOWN ARE BASED CORS-SJB1 (GEOD 12A)

**PLANS PREPARED AND
RECOMMENDED FOR APPROVAL BY:**

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THE DESIGN OF THE GRADING, STREETS, DRAINAGE
AND SANITARY SEWER FACILITIES, TO THE BEST OF MY KNOWLEDGE,
CONFORMS TO THE CURRENT DESIGN STANDARDS OF THE DEPARTMENT OF
PUBLIC WORKS, UNLESS NOTED OTHERWISE.

NOTES

- 1) ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE 1997 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION, LATEST EDITION.
- 2) THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE CITY OF CENTRAL UNIFIED DEVELOPMENT CODE (U.D.C.) AND THE CITY/PARISH DEPARTMENT OF PUBLIC WORKS REGULATIONS.
- 3) THE OWNER OF EACH LOT WILL FURNISH AN ELECTRICAL SERVITUDE FROM THE SOURCE OF SUPPLY TO HIS METER LOCATION FOR RECEIPT OF ELECTRIC SERVICE ON THE LOT.
- 4) THE CONTRACTOR SHALL INSTALL AND MAINTAIN ADEQUATE CONSTRUCTION SIGNAGE AND BARRICADES WHERE REQUIRED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 5) THE CITY OF CENTRAL IS NOT RESPONSIBLE FOR THE MAINTENANCE AND/OR UPKEEP OF PRIVATE STREETS.
- 6) AN LA DOTD PERMIT IS REQUIRED FOR ACTIVITY WITHIN A STATE RIGHT-OF-WAY.

MR ENGINEERING & SURVEYING, LLC

9946 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

MR

GREEN SEASONS

CENTRAL THRUWAY

CITY OF CENTRAL, LOUISIANA

EAST BATON ROUGE PARISH

TITLE SHEET

DESIGNED	CHECKED	DATE	BY
MLR	MLR	03/2018	1 OF 12

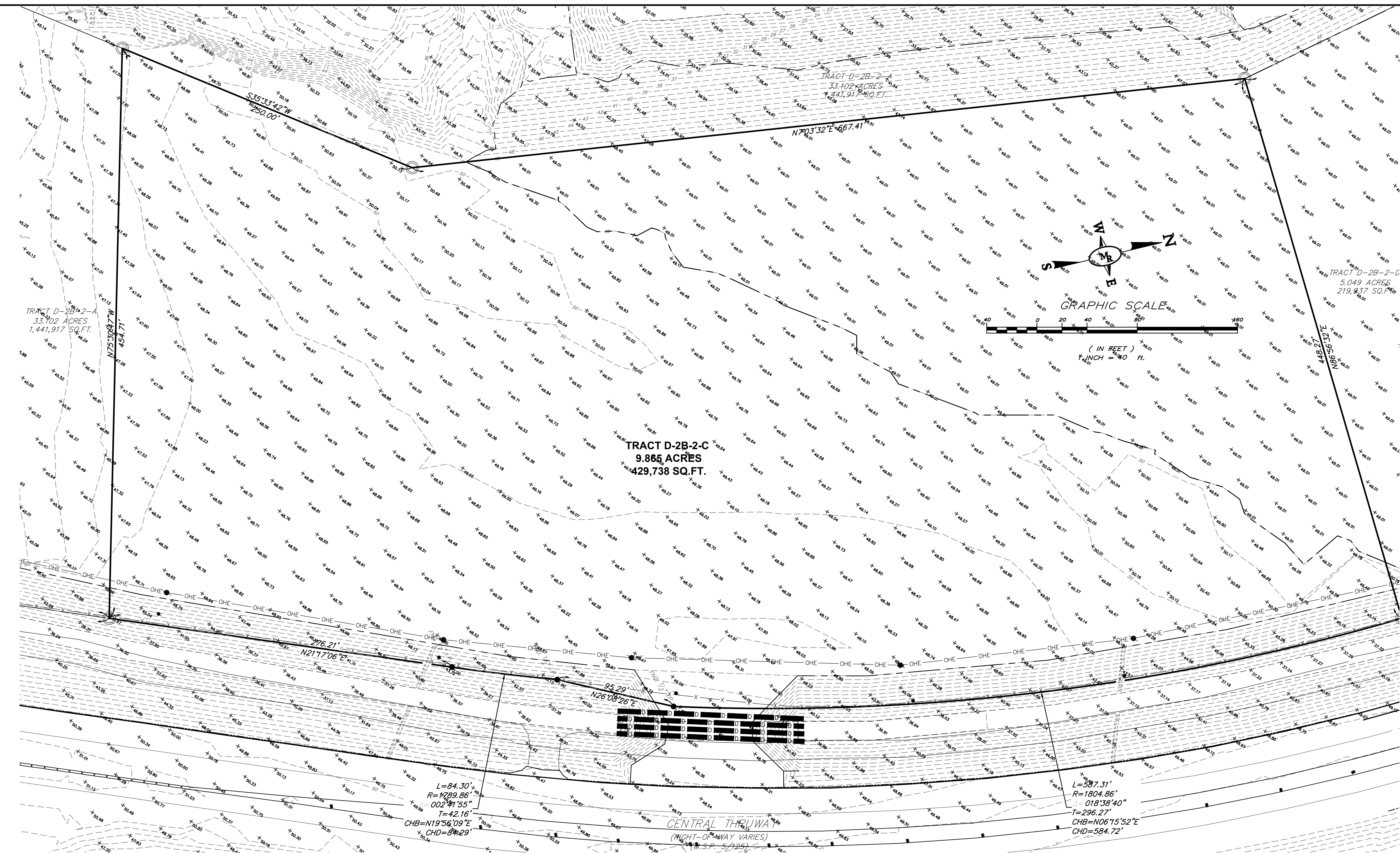
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MLR	MLR	03/2018	1 OF 12

REVISION	DATE	DESCRIPTION

SHEET NUMBER

C-1

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GENERAL NOTES:

- 1) THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "X" & "AE" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR CITY OF CENTRAL, EAST BATON ROUGE PARISH, STATE OF LOUISIANA, COMMUNITY-PANEL NUMBER 2203300195F, DATED JUNE 19, 2012. NEAREST ADJACENT BASE FLOOD ELEVATION IS 47.0' & 48.0'.
- 2) THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NGS STATION "5UB1" (PID DC4818). THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE.
- 3) WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
- 4) DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
- 5) NO ATTEMPT HAS BEEN MADE BY MR ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
- 6) THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND CITY-PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILLING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.
- 7) THE CITY OF CENTRAL AND PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.
- 8) ALL LOTS THAT USE THE PRIVATE SERVITUDE OF ACCESS ARE JOINTLY RESPONSIBLE FOR THE COSTS TO MAINTAIN THE ENTIRE PRIVATE ROAD OR SERVITUDE OF ACCESS CREATED BY THE SUBDIVISION. EACH LOT'S RESPONSIBILITY SHALL BE PRORATED BASED UPON EACH LOT'S FRONTAGE ON THE PRIVATE SERVITUDE OF ACCESS.

ZONING:

NO FURTHER SUBDIVISION UNTIL PRIVATE SERVITUDE OF ACCESS IS BROUGHT UP TO CURRENT DEVELOPMENT STANDARDS.

GENERAL NOTE:

AS PART OF THE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORM WATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE, LATEST REVISION.

GENERAL NOTE:

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REFERENCE MAPS:

1. MAP SHOWING SURVEY & SUBDIVISION OF TRACT D-2-B, C.M. PEEN & SONS, INC. PROPERTY INTO TRACTS D-2B-1 & D-2B-2 FOR C.M. PEEN & SONS, INC. PREPARED BY: CARL MISTRIC, DATED: 11-6-1973
2. SKETCH OF TRACT 2-A, SOUTH OF CENTRAL THRUWAY FOR PORCHE LAND COMPANY, LLC. PREPARED BY: R. JAMES TATUM.
3. STATE OF LOUISIANA, DEPARTMENT OF TRANSPORTATION & DEVELOPMENT, RIGHT OF WAY PROPERTY MAP OF PROPOSED STATE HIGHWAY, STATE PROJECT NOS. 742-17-0145 & 254-02-0045, F.A.P. NOS. 1704(524) & 1705(504), C.P.P. NO. 97-CS-HC-0015, CENTRAL THRUWAY, FRENCHTOWN RD. TO SULLIVAN RD. & GREENWELL SPRING RD. EAST BATON ROUGE PARISH, PHASE II, DATED: 5-10-2005

REFERENCE BEARING: *N67°33'28"E

NORTHERLY PROPERTY LINE OF TRACT D-2B-2. BEARINGS SHOWN ARE IN LOUISIANA STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83

GENERAL NOTES:

ACREAGE: 51.016 ACRES
EXISTING LAND USE: COMMERCIAL
CENTRAL MASTER PLAN: CONSERVATION AREA
SCHOOL DISTRICT: CENTRAL-1
SEWER: PRIVATE TREATMENT PLANT
WATER: BATON ROUGE WATER WORKS
ELECTRIC CO.: DEMCO
GAS CO.: ENTERGY
FIRE DISTRICT: CENTRAL FIRE DISTRICT #4

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- FENCE
- CULVERT
- OVERHEAD POWER
- EDGE OF GRAVEL
- POWER POLE
- GUY POLE
- CURB INLET
- FOUND PROPERTY CORNER
- SET 1/2" IRON PIPE
- APPROXIMATE AREA IN FLOOD ZONE "AE"
- SPRINKLER
- WATER FAUCET
- AIR CONDITIONER
- BOLLARD
- DROP INLET
- SEWER CLEAN-OUT

GREEN SEASONS
CENTRAL THRUWAY
CITY OF CENTRAL, LOUISIANA
EAST BATON ROUGE PARISH

EXISTING CONDITIONS

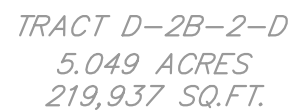
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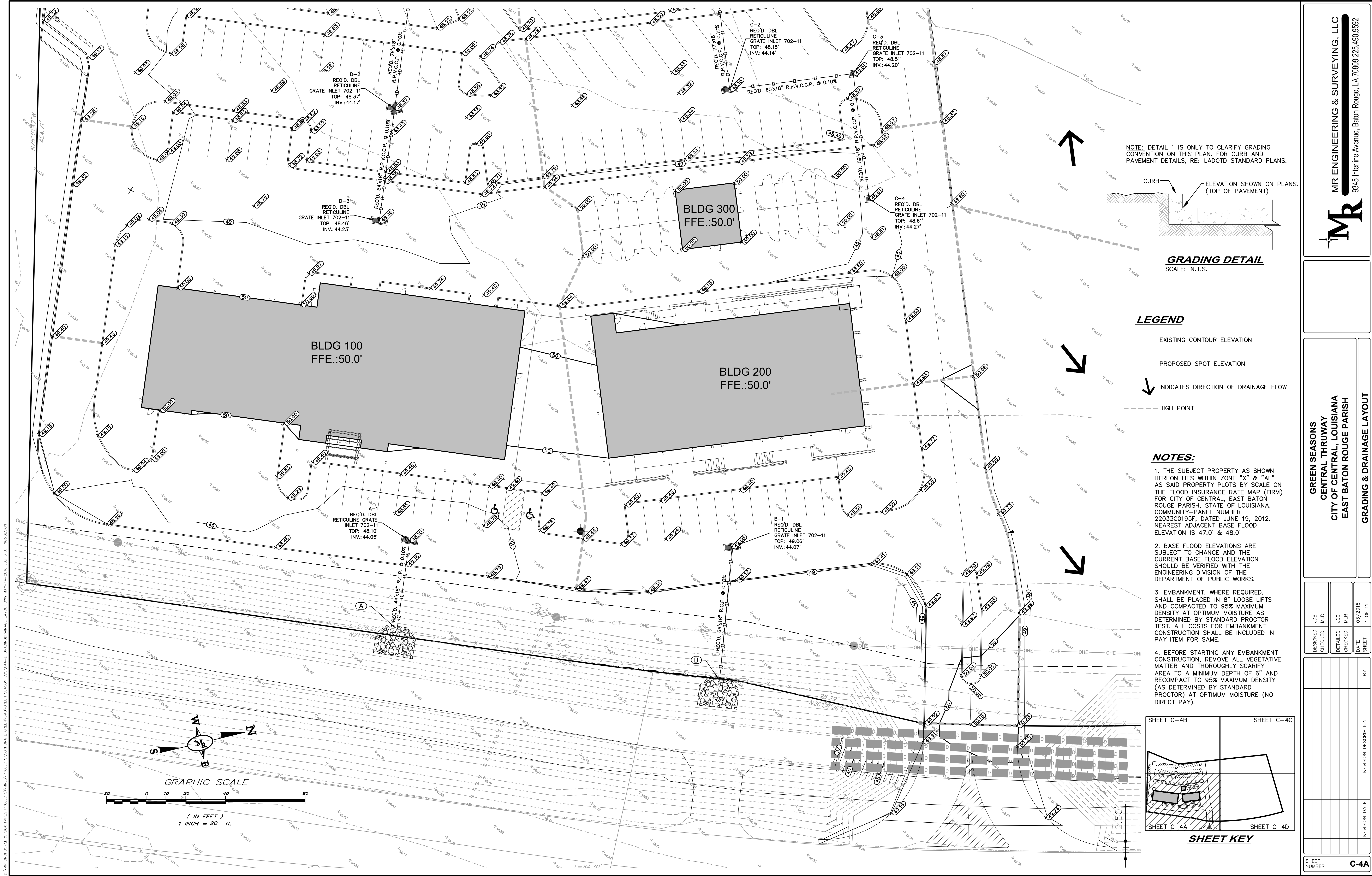
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REVISION DESCRIPTION
BY
DATE

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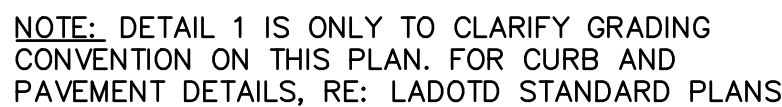


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REVISION DATE		BY	
REVISION DESCRIPTION		BY	
DATE		SHEET	
03/2018		4 OF 11	
DESIGNED		JOB	
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GREEN SEASONS		GRADING & DRAINAGE LAYOUT	
CENTRAL THRUWAY			
CITY OF CENTRAL, LOUISIANA			
EAST BATON ROUGE PARISH			







EXISTING CONTOUR ELEVATION

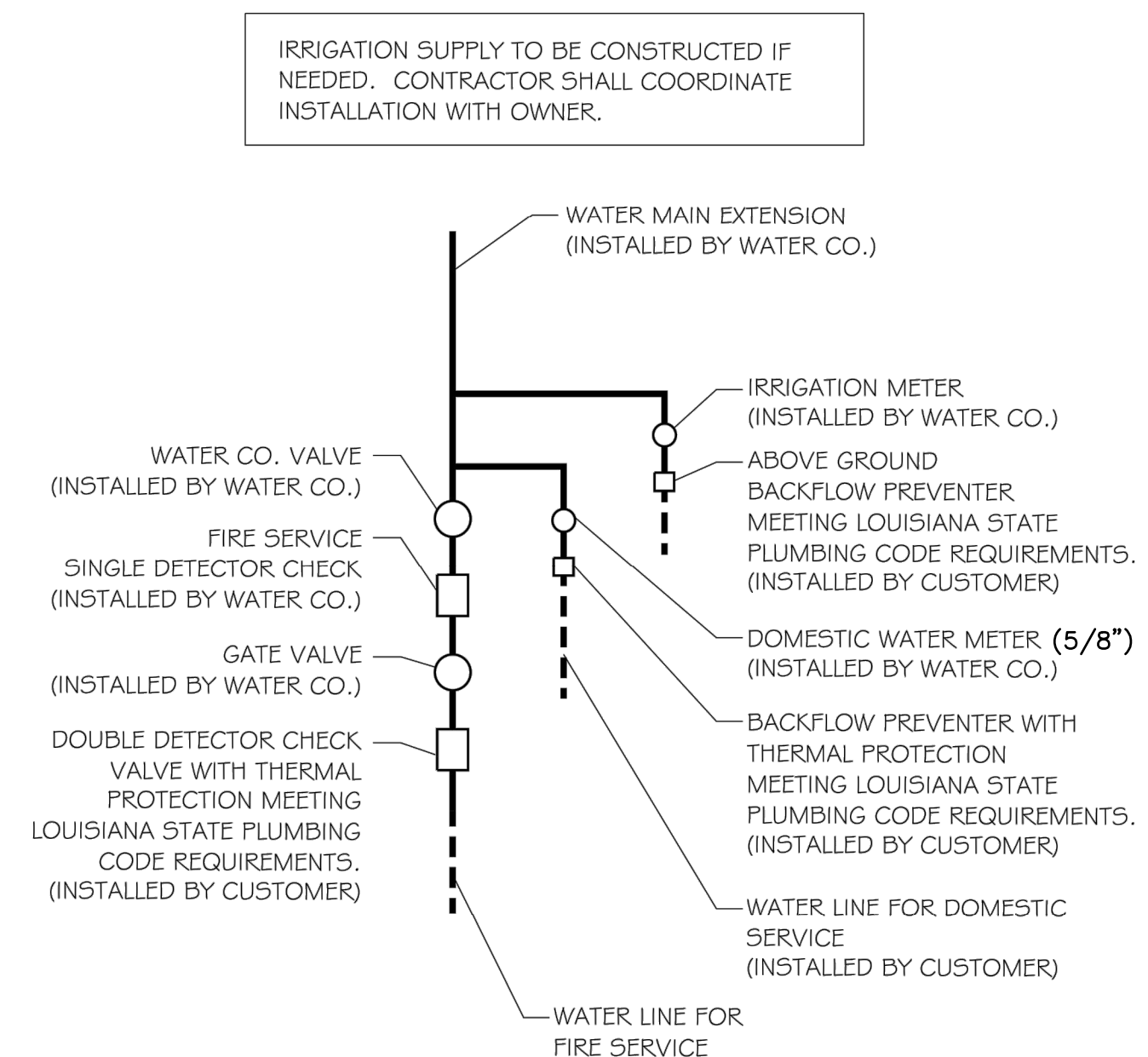
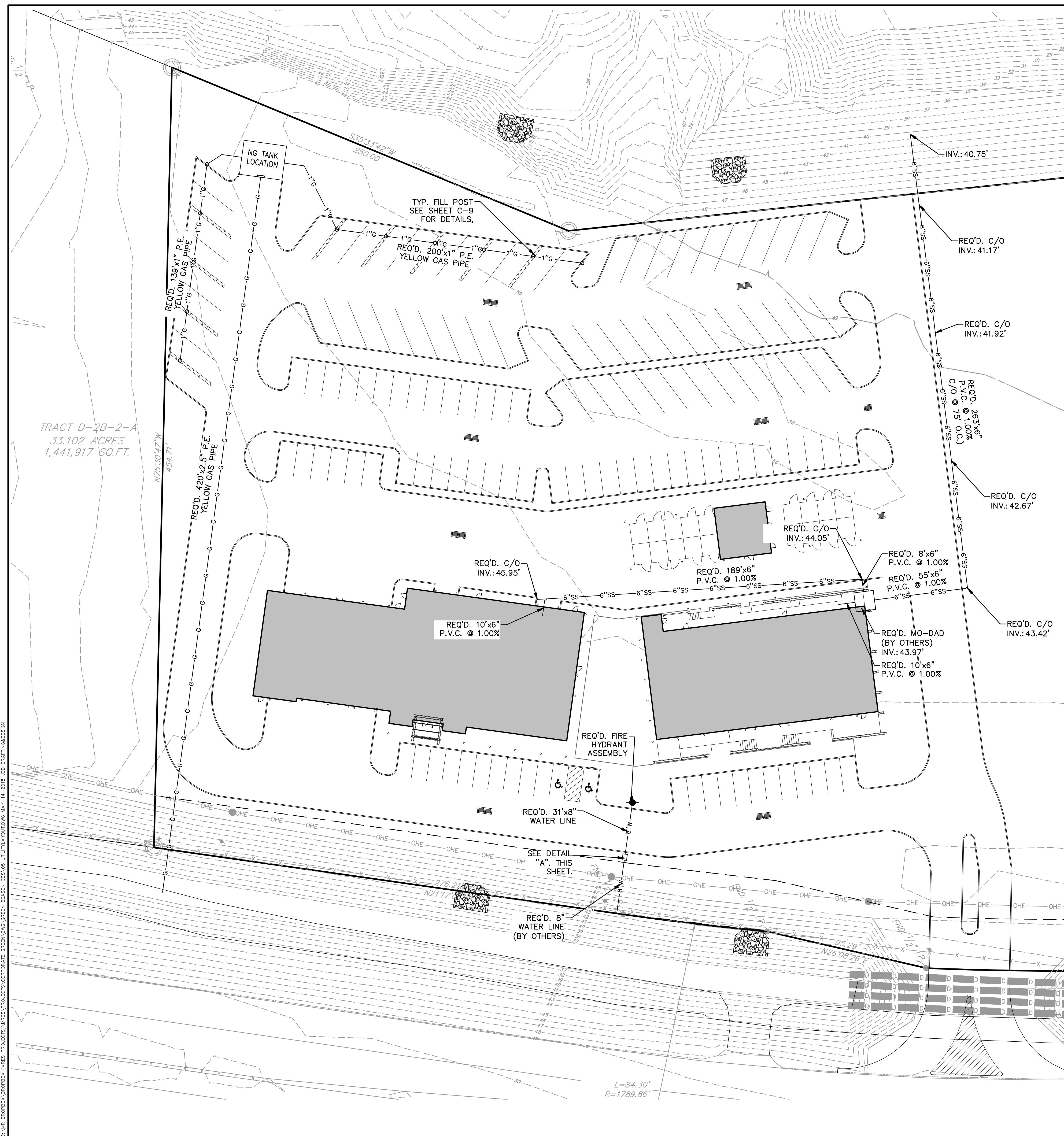
PROPOSED SPOT ELEVATION

INDICATES DIRECTION OF DRAINAGE FLOW

— HIGH POINT

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2. BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS.
3. EMBANKMENT, WHERE REQUIRED, SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY STANDARD PROCTOR TEST. ALL COSTS FOR EMBANKMENT CONSTRUCTION SHALL BE INCLUDED IN PAY ITEM FOR SAME.
4. BEFORE STARTING ANY EMBANKMENT CONSTRUCTION, REMOVE ALL VEGETATIVE MATTER AND THOROUGHLY SCARIFY AREA TO A MINIMUM DEPTH OF 6" AND RECOMPACT TO 95% MAXIMUM DENSITY (AS DETERMINED BY STANDARD PROCTOR) AT OPTIMUM MOISTURE (NO DIRECT PAY).





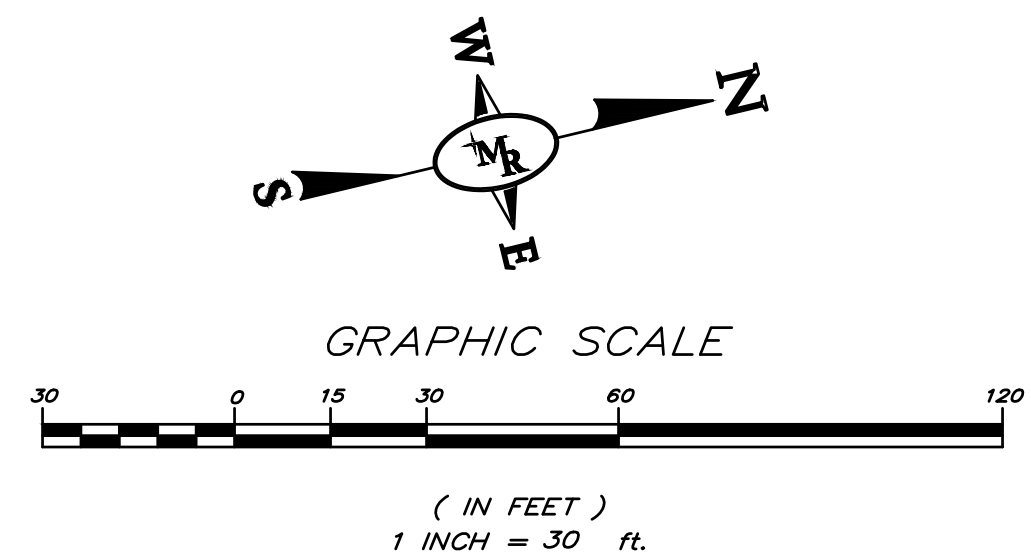
DETAIL "A"
SCALE: N.T.S.

PROPOSED LEGEND:

— 6"SS ——— REQ'D. 6" SEWER SERVICE LINE
 — 8"W ——— REQ'D. 8" WATER LINE
 ● ——— REQ'D. FIRE HYDRANT
 — 1"G ——— REQ'D. 1" P.E. YELLOW GAS PIPE
 — G — G ——— REQ'D. 2.5" P.E. YELLOW GAS PIPE

EXISTING LEGEND:

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	FENCE
	CULVERT
	OVERHEAD POWER
	EDGE OF GRAVEL
	POWER POLE
	GUY POLE
	CURB INLET
	FOUND PROPERTY CORNER
	SET 1/2" IRON PIPE
	SPRINKLER
	WATER FAUCET
	AIR CONDITIONER
	BOLLARD
	DROP INLET
	SEWER CLEAN-OUT

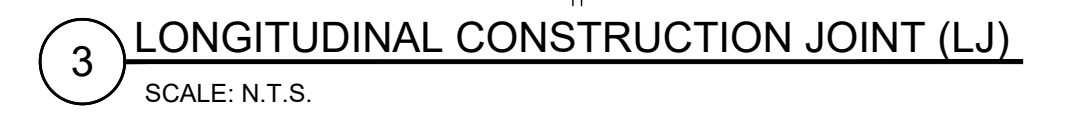
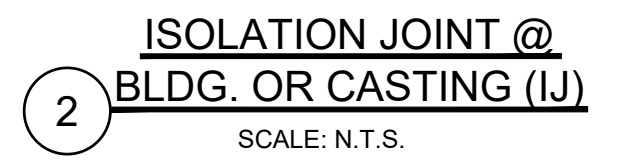
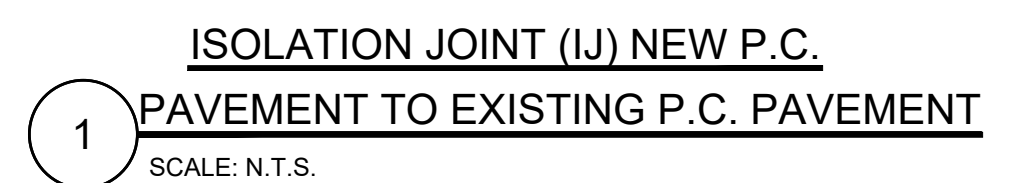


GENERAL NOTES:

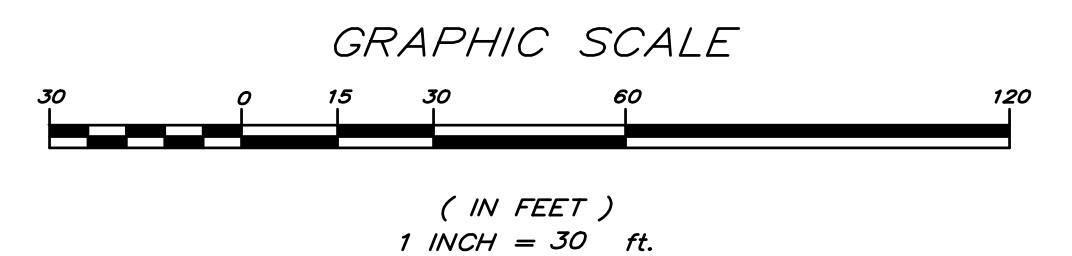
- 1) THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH BATON ROUGE SEWER & DRAINAGE, LA WATER COMPANY AND LOUISIANA ONE CALL, PRIOR TO CONSTRUCTION AND THROUGHOUT CONSTRUCTION WHEN WORKING WITHIN CLOSE PROXIMITY OF EXISTING UTILITIES.
- 2) MINIMUM DEPTH OF CONNECTIONS AT THE PROPERTY LINE SHALL BE 4 TO 6 FEET BELOW THE NATURAL GROUND AT THE R/W LINE. CONNECTIONS FROM THE MAIN SEWER TO THE PROPERTY SHALL HAVE A MINIMUM SLOPE OF 1% AND 2% WHERE AVAILABLE DEPTH PERMITS.
- 3) ALL UTILITY TIE-INS SHALL BE COORDINATED WITH BATON ROUGE SEWER & DRAINAGE, LA WATER COMPANY AND/OR THE UTILITY OWNER BEFORE THE CONNECTION IS MADE.
- 4) CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DIMENSIONS, SERVICE AREA DIMENSIONS, AND ELEVATIONS. REFERENCE M.E.P. FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

DESIGNED CHECKED	JOB MLR
DETAILED CHECKED	JOB MLR
DATE	03/2018

[illegible]



—CJ—CJ—CJ—	CONTRACTION JOINT
—LJ—LJ—LJ—	LONGITUDINAL CONSTRUCTION JOINT
—IJ—IJ—IJ—	ISOLATION JOINT



MAINTENANCE

1. STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
2. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
3. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
4. SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDS.

1. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
2. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.
4. SHOULD CONSTRUCTION STOP FOR LONGER THAN 15 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
5. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
6. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEEDING FROM LEAVING THE SITE.
7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
9. COMPACT AND MAINTAIN 6" THICK STONE MATERIAL FOR CONSTRUCTION ENTRANCE.
10. CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

WE, THE UNDERSIGNED CONTRACTOR(S), DO HEREBY AGREE TO THE EROSION AND SEDIMENTATION CONTROL PLAN AS OUTLINED BY THE SITE DEVELOPMENT FIRM AND AGREE TO MAINTAIN SUCH COMPLIANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN ELEMENTS SHALL INCLUDE, BUT ARE NOT LIMITED TO;

NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES AND STRUCTURES HAVE BEEN INSTALLED AND/OR IN PLACE.

ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.

MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES/STRUCTURES AFTER EACH RAINFALL EVENT AND AT LEAST ONCE PER WEEK.

ALL NECESSARY MEASURES SHALL BE TAKEN TO THE EXTENT PRACTICABLE TO PREVENT SEDIMENT FROM LEAVING THE SITE(S).

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE PRACTICED IF DEEMED NECESSARY BY ONE SITE INSPECTIONS.

LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.

CONTRACTOR(S) AND SUB-CONTRACTOR(S) SHALL AGREE TO COMPLY WITH ALL STATE AND LOCAL ORDINANCES WHICH APPLY.

CONTRACTOR(S) AND SUB-CONTRACTOR(S) SHALL AGREE TO COMPLY WITH ALL STATE AND LOCAL ORDINANCES WHICH APPLY.

GENERAL CONTRACTOR

	SILT FENCE
	SEDIMENT BARRIER
	EXISTING CONTOURS
	STABILIZED CONSTRUCTION ENTRANCE



- SCALE: N.T.S.

